

USE ONLY FIGURED DIMENSIONS. DO NOT SCALE DRAWINGS.  
 ALL DISCREPANCIES AND OMISSIONS TO BE REFERRED TO d-syre design PRIOR TO CONSTRUCTION.  
 CHECK ALL DIMENSIONS, BUILDING CODE OF AUSTRALIA, RELEVANT CODES AND COUNCIL APPROVALS.  
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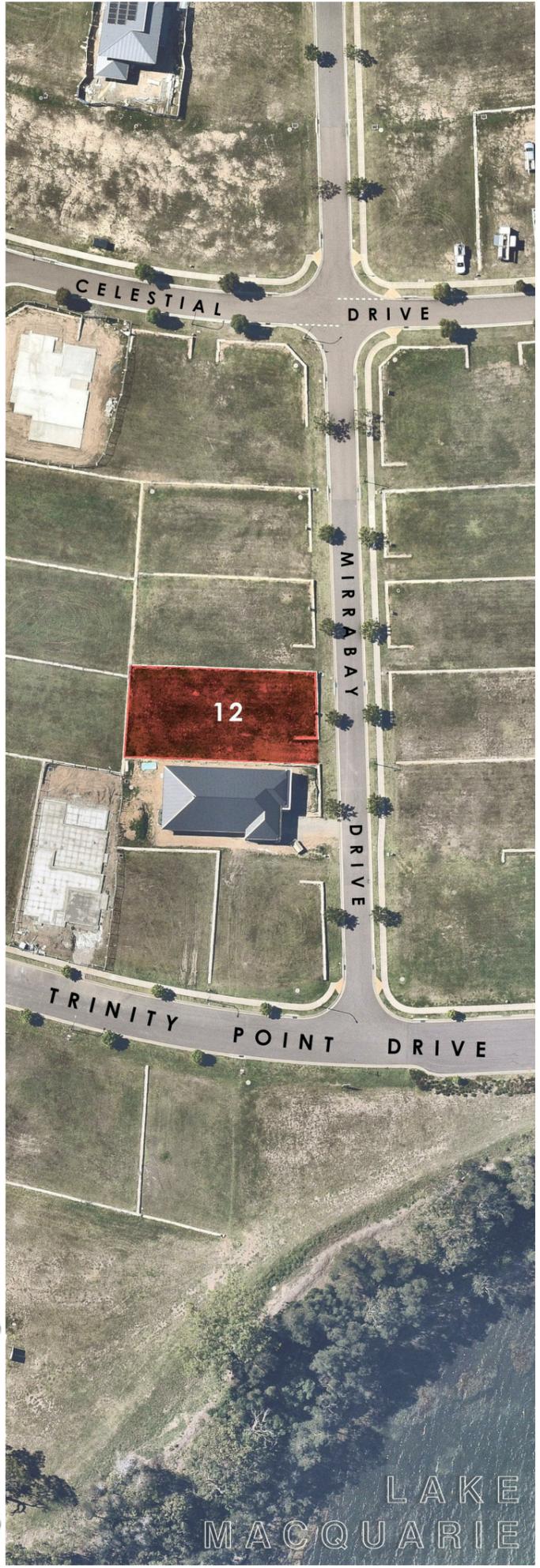
**GENERAL NOTES.**

1. Verify all dimensions and resolve any discrepancies in drawing prior to construction. Refer to specifications (if any), project requirements, notes and abbreviations on legend.
2. Structural design to be based on lot classification, relevant wind speed ratings, Australian standards, engineering codes and applicable regulations to achieve the architectural design intent shown on drawings.
3. Construction to fully comply with council codes and regulations, BCA requirements, statutory requirements and project specifications (if any).
4. Refer to RL's indicated on site plan and details for slab drop edge and internal beams.
5. Contractor to check and confirm that all services runs within and outside the building can be accommodated in relation to the following:
  - A. Structural design, dimensions and details of concrete slab on ground especially at level differences and drop edge beams
  - B. Location of hot water unit, optional A/C unit and electrical switch board (to be finalised prior to construction).
6. All materials, components to comply with relevant Australian standards and any other relevant authorities.
7. For external colours and finishes refer to colour notes/schedule on elevations.
8. Refer to structural engineers drawings for:
  - A. Dimensions and details of concrete slab on ground
  - B. Steel and timber beam sizes and locations
  - C. Retaining walls
  - D. Proposed structure in terms of sizes, spacing's, type and direction of floor joists.
  - E. All reinforced concrete shall be in accordance with engineers details drawings.
9. Brick expansion joints shown are indicative only. Exact locations to be verified prior to construction, based on structural design parameters.
10. Grade A safety glass (as per table 5.1 A.S. 1288-) to bathroom window, ensuite window, external glass sliding door, side panel and glazing less than 500mm above floor.
11. 100mm stormwater drains on granular fill at a grade of 1:100 to legal point of discharge
12. Concrete slab to be adequately impervious (refer building control notes No: 6- January 1988).
13. Impervious floors and walls to all wet areas (ie: showers min. 1800mm above base; 300mm above baths and laundry troughs). Refer general specifications clauses F8, F9 and F10.
14. Waterproofing in wet areas to comply with AS 3740 of part 3.8.1.2 of the Building Code of Australia.
15. Insulation (thermal) as per part F.6 B.C.A.
  - A. Ceiling - Ceiling Batts R2.5
  - B. Walls - Foil sisalation and insulation batts R1.5
16. Smoke detectors to comply with CL. E. 1.7. 1. B.C.A.
17. Written dimensions to be taken in preference to scale.



LAKE MACQUARIE CITY COUNCIL  
 Approved plans for  
 Development Consent No: DA/2180/2020  
 Date of Approval: 23/02/2021  
 NOT FOR CONSTRUCTION

MAJEED RESIDENCE  
 LOT 1602 DP 1224483  
 12, MIRRABAY DRIVE, MORISSET PARK, NSW 2264



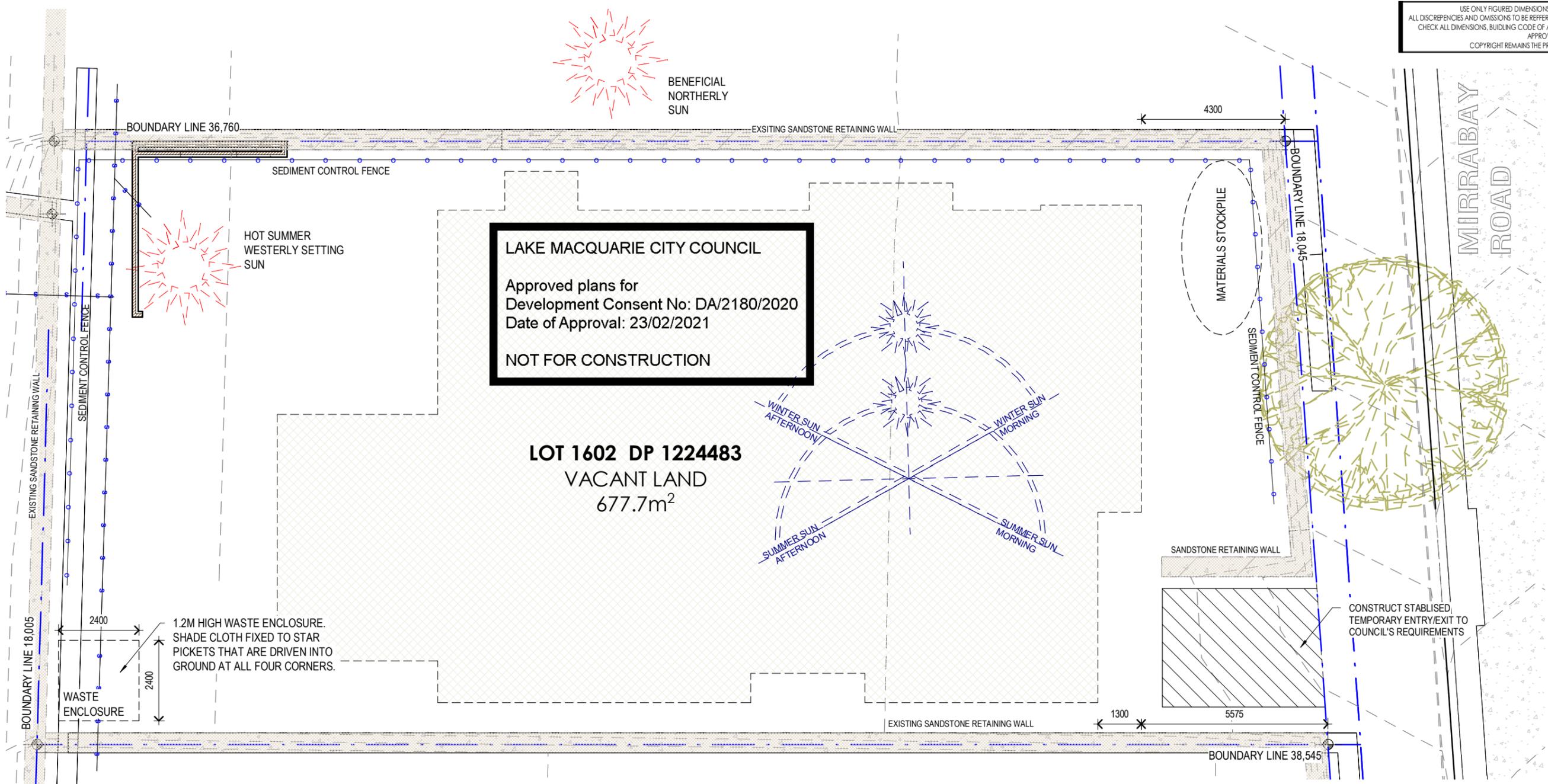
**DRAWING SCHEDULE.**

00- COVERPAGE	N.T.S.
01- LOCALITY PLAN	1:100
02- SITE ANALYSIS DIAGRAM	1:125
03- SITE PLAN	1:100
04- GROUND FLOOR PLAN	1:100
05- UPPER FLOOR PLAN	1:125
06- ROOF PLAN	N.T.S.
07- WINDOW SCHEDULE	N.T.S.
08- DOOR SCHEDULE	1:100
09- NORTH ELEVATION	1:100
10- EAST ELEVATION	1:100
11- SOUTH ELEVATION	1:100
12- WEST ELEVATION	1:100
13- SECTION A-A	1:100
14- SECTION B-B	1:100
15- SHADOW DIAGRAMS	1:250
16- BASIX CERTIFICATE	N.T.S.
17- LANDSCAPE PLAN	1:125

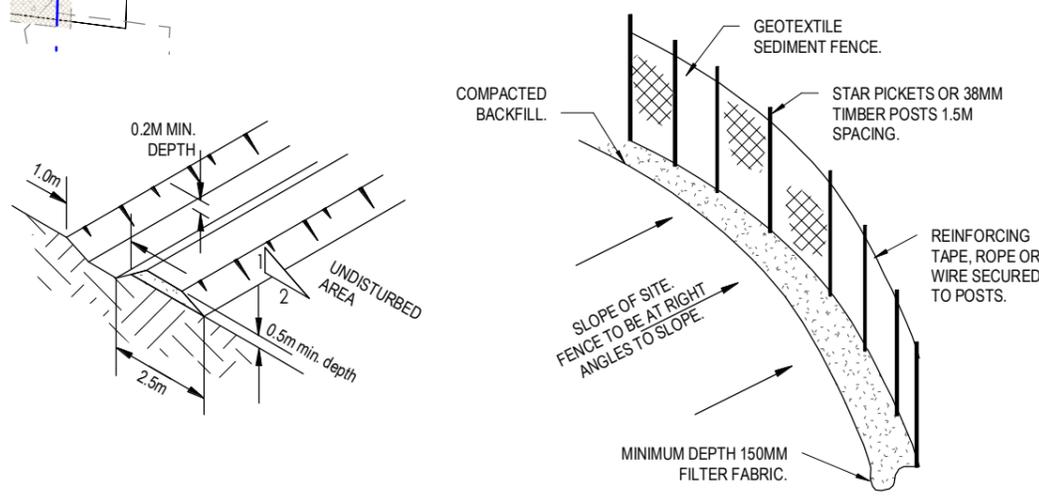
JOHNSON PROPERTY GROUP  
 DESIGN REVIEW PANEL  
 Approved Date 11.12.20  
 APPROVED IN CONJUNCTION WITH DRP APPROVAL SCHEDULE

**DEVELOPMENT APPLICATION**

PROJECT:	NEW DOUBLE STOREY DWELLING
ADDRESS:	LOT 1602 DP 1224483 12, MIRRABAY DRIVE, MORISSET PARK, NSW
TITLE:	COVERPAGE
CLIENT:	MAJEED
JOB NO:	20-106
DWG NO:	00
ISSUE:	3
DRAWN:	Bernard Siva
SCALE:	As indicated
DATE:	2/8/2021 1:21:18 PM



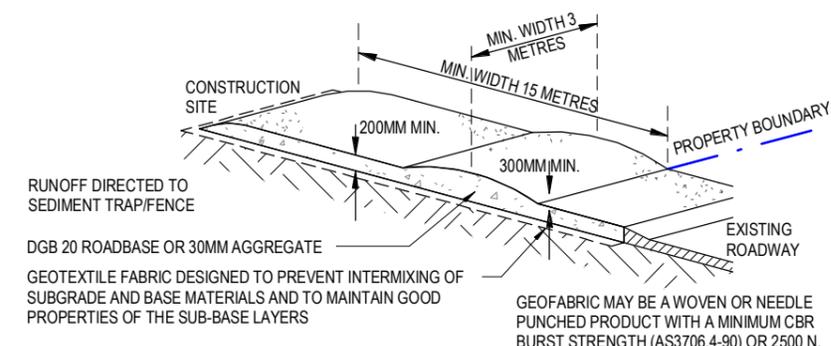
**1 SITE ANALYSIS**  
 1 : 125



**SEDIMENT CONTROL FENCE DETAIL**

**GENERAL NOTES.**

1. ALL EROSION AND SEDIMENT CONTROL MEASURES REQUIRED AS CONDITIONS OF BUILDING APPROVAL TO BE INSTALLED PRIOR TO ANY OTHER WORK SUCH AS CUT AND FILL TAKING PLACE ON SITE. THESE MEASURES TO BE MAINTAINED THROUGHOUT THE COURSE OF CONSTRUCTION AND SATISFACTORY STABILISATION OF THE SITE UPON COMPLETION OF THE WORKS.
2. CONTROL MEASURES TO BE IN ACCORDANCE WITH COUNCIL'S INFORMATION BROCHURE, AND THE DEPARTMENT OF CONSERVATION AND LAND MANAGEMENT.
3. ALL SEDIMENT CONTROL TECHNIQUES INCLUDING RUNOFF DIVERSION TECHNIQUES, SEDIMENT TRAPPING DEVICES, CONSTRUCTION OF ENTRANCES/EXITS, BUFFER ZONES AND REVEGETATION TECHNIQUES SHALL BE CONSTRUCTED TO PREVENT SEDIMENT AND OTHER DEBRIS LEAVING THE SITE OR ENTERING COUNCIL DRAINAGE SYSTEM. ALL SUCH CONTROL MEASURES TO BE MAINTAINED IN A SOUND AND WORKABLE CONDITION AND SHALL NOT BE REMOVED FROM SITE UNTIL PERMANENT REHABILITATION MEASURES HAVE BEEN COMPLETED.

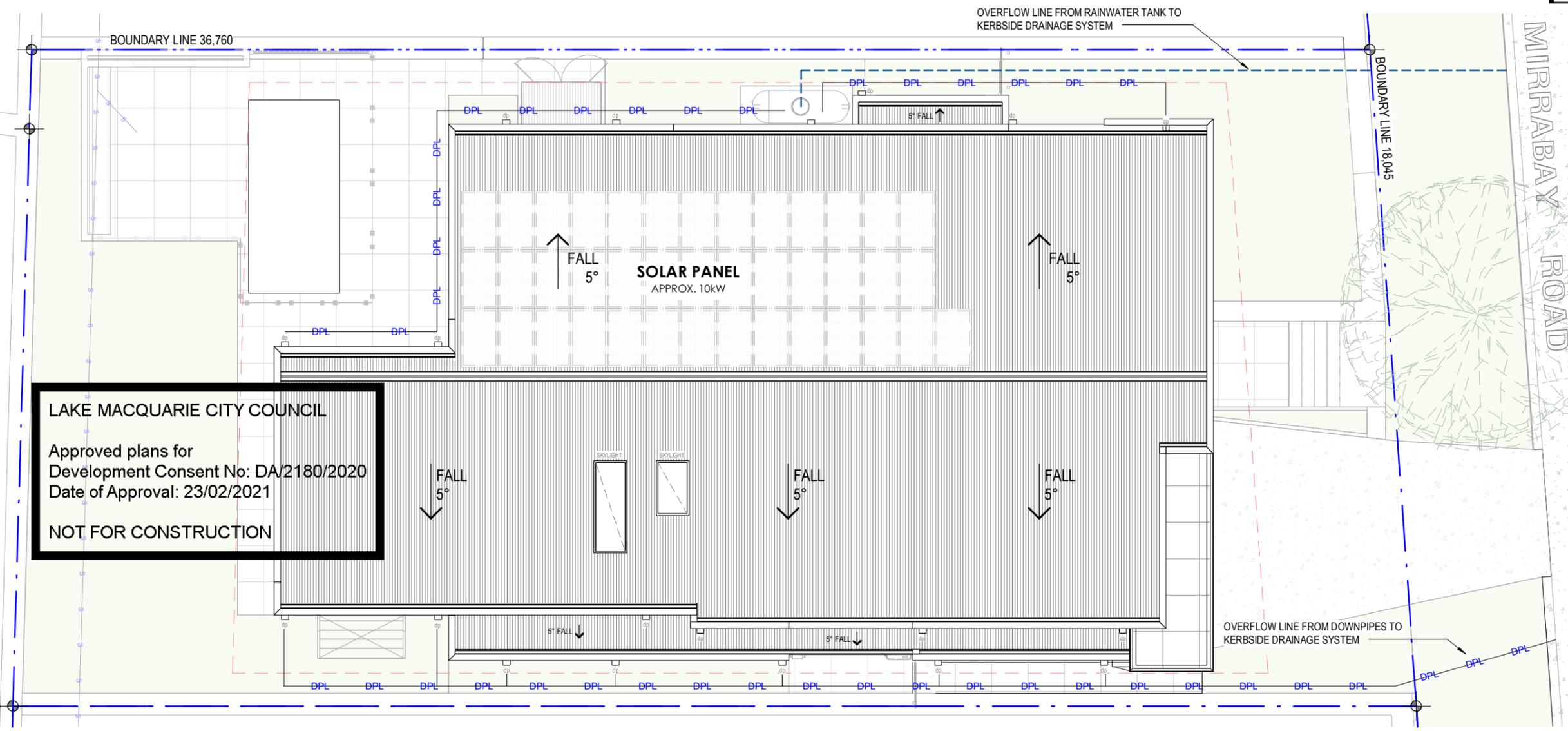


**CONSTRUCTION NOTES.**

1. STRIP TOPSOIL AND LEVEL SITE.
2. COMPACT SUBGRADE.
3. COVER AREA WITH NEEDLE-PUNCHED GEOTEXTILE.
4. CONSTRUCT 200MM THICK PAD OVER GEOTEXTILE USING ROADBASE OR 300MM AGGREGATE. MINIMUM LENGTH 15 METRES OR TO BUILDING ALIGNMENT. MINIMUM WIDTH 3 METRES.
5. CONSTRUCT HUMP IMMEDIATELY WITHIN BOUNDARY TO DIVERT WATER TO A SEDIMENT FENCE OR OTHER SEDIMENT TRAP.

**DEVELOPMENT APPLICATION**

PROJECT:	NEW DOUBLE STOREY DWELLING
ADDRESS:	LOT 1602 DP 1224483 12, MIRRABAY DRIVE, MORISSET PARK, NSW
TITLE:	SITE ANALYSIS PLAN SEDIMENTATION & EROSION PLAN
CLIENT:	MAJEED
JOB NO:	20-106
DWG NO:	01
ISSUE:	3
DRAWN:	Bernard Siva
SCALE:	As indicated
DATE:	2/8/2021 1:21:19 PM



- ### GENERAL NOTES.
- #### PIPEWORK MARKING AND LABELING
- ABOVE GROUND DISTRIBUTION PIPES SHALL BE CONTINUOUSLY MARKED 'RAINWATER' WITH ADHESIVE PIPE MARKERS MADE IN ACCORDANCE WITH AS1345.
  - BELOW GROUND RAINWATER PIPES SHALL BE CONTINUOUSLY MARKED 'RAINWATER' WITH ADHESIVE PIPE MARKERS MADE IN ACCORDANCE WITH AS1345. ALTERNATELY IDENTIFICATION TAPE/PIPE SLEEVE CONTINUOUSLY MARKED 'RAINWATER' MADE IN ACCORDANCE WITH AS2648 CAN BE USED.
  - EVERY RAINWATER TANK OUTLET AND ALL TAPS, VALVES AND RAINWATER TANK APERTURES SHALL BE IDENTIFIED AS 'RAINWATER' WITH A SIGN COMPLYING WITH AS1319 OR A FREEN COLOUR INDICATOR WITH LETTERING 'RW'. ALTERNATELY A PERMANENT SIGN AT THE FRONT OF THE PREMISES AND VISABLE TO ALL VISITORS MAY BE DISPLAYED ADVISING THAT RAINWATER IS IN USE.
  - IDENTIFICATION TAPE MARKED 'RAINWATER' SHALL BE AT LEAST 75mm WIDE. THE IDENTIFICATION TAPE SHALL BE INSTALLED ON TOP OF THE RAINWEATER PIPE INSTALLED IN ANY TRENCH LONGITUDINALLY AND FASTENED TO PIPES AT NO MORE THAN 3m INTERVALS.
  - SEPARATION BETWEEN ABOVE GROUND RAINWATER SERVICES AND ANY PARALLEL POTABLE WATER SUPPLY MUST BE A MINIMUM OF 100mm.
  - SEPARATION BETWEEN BELOW GROUND RAINWATER SERVICES AND ANY PARALLEL POTABLE WATER SUPPLY MUST BE A MINIMUM OF 300mm.

- #### WASTE WATER NOTE
- SEWAGE TO DRAIN TO THE SEWER MAIN LOCATED AT THE FRONT OF THE PROPERTY TO LOCAL AUTHORITY REQUIREMENTS.

- #### STORMWATER NOTES
- KERB OUTLET CONFIGURATION TO BE APPROVED BY COUNCIL PRIOR TO INSTALLATION AND TO BE INSTALLED TO MANUFACTURERS INSTRUCTIONS.
  - SEWER GRADE 100 DIAM. PVC OR GLAV. 150x50 RHS WHERE COVER IS MINIMAL.
  - ALL CONNECTIONS TO BE SEALED WITH SILICON BASED SEALANT.
  - OUTLET SHALL BE PROVIDED ON THE LOW SIDE OF EACH LOT WITHIN 1000 FROM THE SIDE BOUNDARY ALIGNMENT OR OTHER APPROVED LOCATION.
  - ALL NEW STORMWATER DRAINAGE TO BE CONNECTED TO THE COUNCIL'S DRAINAGE SYSTEM AND BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS3500.3 2018.

# 1 ROOF PLAN

1 : 125

## WINDOW SCHEDULE

WINDOW #	LOCATION	DIMENSION	AFFL	DIRECTION	SPECIFICATION
W01	GARAGE	600(H) x 1800 (W)	2050	SOUTH	ALUM. FIXED - OPAQUE
W02	CLOAK ROOM	1200(H) x 650 (W)	1200	SOUTH	ALUM. FIXED - OPAQUE
W03	LAUNDRY	1200(H) x 650 (W)	1200	SOUTH	ALUM. LOUVRE - CLEAR
W04	WET KITCHEN	400(H) x 2000(W)	1200	SOUTH	ALUM. FIXED - CLEAR
W05	DRY KITCHEN	1800(H) x 900 (W)	1200	SOUTH	ALUM. FIXED - CLEAR
W06	DRY KITCHEN	1800(H) x 900 (W)	1200	SOUTH	ALUM. FIXED - CLEAR
W07	FAMILY AREA	1800(H) x 900 (W)	1200	NORTH	ALUM. FIXED - CLEAR
W08	FAMILY AREA	1800(H) x 900(W)	1200	NORTH	ALUM. FIXED - CLEAR
W09	FAMILY AREA	2900(H) x 1300(W)	700	WEST	ALUM. FIXED - CLEAR
W10	STAIRCASE	1800(H) x 1100(W)	100	NORTH	ALUM. FIXED - CLEAR
W11	GUEST ENSUITE	600(H) x 1800(W)	2000	NORTH	ALUM. AWNING - OPAQUE
W12	GUEST BEDROOM	1400(H) x 3000(W)	1200	NORTH	ALUM. SLIDING - CLEAR
W13	BEDROOM 3	1700(H) x 930(W)	900	EAST	ALUM. LOUVRE - CLEAR
W14	STUDY	1700(H) x 3450(W)	900	EAST	ALUM. FIXED & LOUVRE - CLEAR
W14A	STUDY	1700(H) x 850(W)	900	SOUTH	ALUM. FIXED - CLEAR
W15	BEDROOM 2	1700(H) x 2130(W)	900	EAST	ALUM. FIXED & LOUVRE - CLEAR
W15A	BEDROOM 2	1700(H) x 850(W)	900	SOUTH	ALUM. FIXED - CLEAR
W16	ENSUITE 2	800(H) x 1500 (W)	1800	SOUTH	ALUM. AWNING - OPAQUE
W17	GYM	2400(H) x 1800 (W)	200	SOUTH	ALUM. AWNING - TINTED
W18	MASTER ENSUITE	800(H) x 900(W)	1800	SOUTH	ALUM. AWNING - OPAQUE
W19	MASTER BEDROOM	1700(H) x 4000(W)	900	WEST	ALUM. FIXED & LOUVRE - CLEAR
W20	FAMILY AREA	2600(H) x 5000(W)	0	WEST	ALUM. FIXED - CLEAR
W21	FAMILY AREA	1800(H) x 900(W)	800	NORTH	ALUM. FIXED - CLEAR
W22	FAMILY AREA	1800(H) x 900(W)	800	NORTH	ALUM. FIXED - CLEAR
W23	ENSUITE 4	800(H) x 1800(W)	1800	NORTH	ALUM. AWNING - OPAQUE
W24	BEDROOM 4	1600(H) x 2700(W)	1000	NORTH	ALUM. FIXED & LOUVRE - CLEAR
W25	ENSUITE 3	800(H) x 1670(W)	1800	NORTH	ALUM. AWNING - OPAQUE

## DOOR SCHEDULE

DOOR #	LOCATION	DIMENSION	DIRECTION	SPECIFICATION
D01	GARAGE	2600(H) x 3000(W)	-	ALUM. PANEL-LIFT DOOR
D02	ENTRY	3000(H) x 1500(W)	EAST	PIVOT DOOR WITH SIDE LITE (3000x400)
D03	FORMAL LIVING	3000(H) x 4000(W)	EAST	GLASS SWING DOOR WITH LOUVRES
D04	LAUNDRY	2400(H) x 820(W)	SOUTH	GLASS SWING DOOR
D05	INDOOR DINING	3000(H) x 5000(W)	WEST	GLASS STACKER DOOR
D06	FAMILY AREA	3000(H) x 5000(W)	WEST	GLASS STACKER DOOR
D07	GUEST BEDROOM	2400(H) x 820(W)	-	INTERNAL SWING DOOR
D08	GUEST BEDROOM	2400(H) x 820(W)	-	INTERNAL SWING DOOR
D09	POWDER ROOM	2400(H) x 820(W)	-	INTERNAL SWING DOOR
D10	GARAGE	2400(H) x 820(W)	-	INTERNAL SWING DOOR
D11	CLOAK ROOM	2400(H) x 820(W)	-	INTERNAL CLEAR GLASS CAVITY SLIDER
D12	LAUNDRY	2400(H) x 820(W)	-	INTERNAL CLEAR GLASS CAVITY SLIDER
D13	PANTRY	2400(H) x 820(W)	-	INTERNAL CLEAR GLASS CAVITY SLIDER
D14	WET KITCHEN	2400(H) x 1000(W)	-	INTERNAL OPAQUE GLASS CAVITY SLIDER
D15	BEDROOM 3	2600(H) x 1975(W)	EAST	GLASS SLIDING DOOR
D16	BEDROOM 2	2600(H) x 2000(W)	EAST	GLASS SLIDING DOOR
D17	MASTER BEDROOM	2600(H) x 3600(W)	NORTH	GLASS SLIDING DOOR (FRENCH STYLE)
D18	MASTER BEDROOM	2400(H) x 920(W)	-	INTERNAL SWING DOOR
D19	WALK IN ROBE	2400(H) x 1000(W)	-	INTERNAL CAVITY SLIDER
D20	MASTER ENSUITE	2400(H) x 820(W)	-	INTERNAL SWING DOOR
D21	MASTER ENSUITE	2400(H) x 820(W)	-	INTERNAL SWING DOOR
D22	GYM	2400(H) x 820(W)	-	INTERNAL SWING DOOR
D23	MEDIA ROOM	2400(H) x 1600(W)	-	INTERNAL SWING DOUBLE DOOR
D24	ENSUITE 2	2400(H) x 820(W)	-	INTERNAL SWING DOOR
D25	BEDROOM 2	2400(H) x 820(W)	-	INTERNAL SWING DOOR
D26	STUDY	2400(H) x 1600(W)	-	INTERNAL SWING DOUBLE DOOR
D27	BEDROOM 3	2400(H) x 820(W)	-	INTERNAL SWING DOOR
D28	ENSUITE 3	2400(H) x 820(W)	-	INTERNAL SWING DOOR
D29	BEDROOM 4	2400(H) x 820(W)	-	INTERNAL SWING DOOR
D30	ENSUITE 4	2400(H) x 820(W)	-	INTERNAL SWING DOOR

PLEASE CHECK AND CONFIRM ALL CODES, SLIDE/SWING DIRECTION PRIOR TO ORDERING

PLEASE CHECK AND CONFIRM ALL CODES, SLIDE/SWING DIRECTION PRIOR TO ORDERING

## DEVELOPMENT APPLICATION

PROJECT: NEW DOUBLE STOREY DWELLING

ADDRESS: LOT 1602 DP 1224483  
12, MIRRABAY DRIVE, MORISSET PARK, NSW

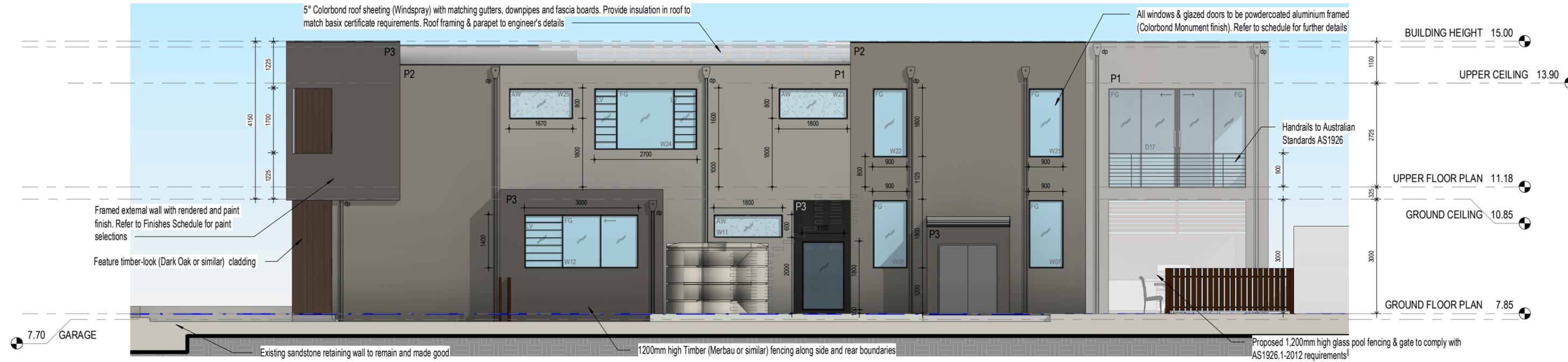
TITLE: ROOF & STORMWATER MANAGEMENT PLAN  
WINDOW & DOOR SCHEDULE

CLIENT: MAJEED

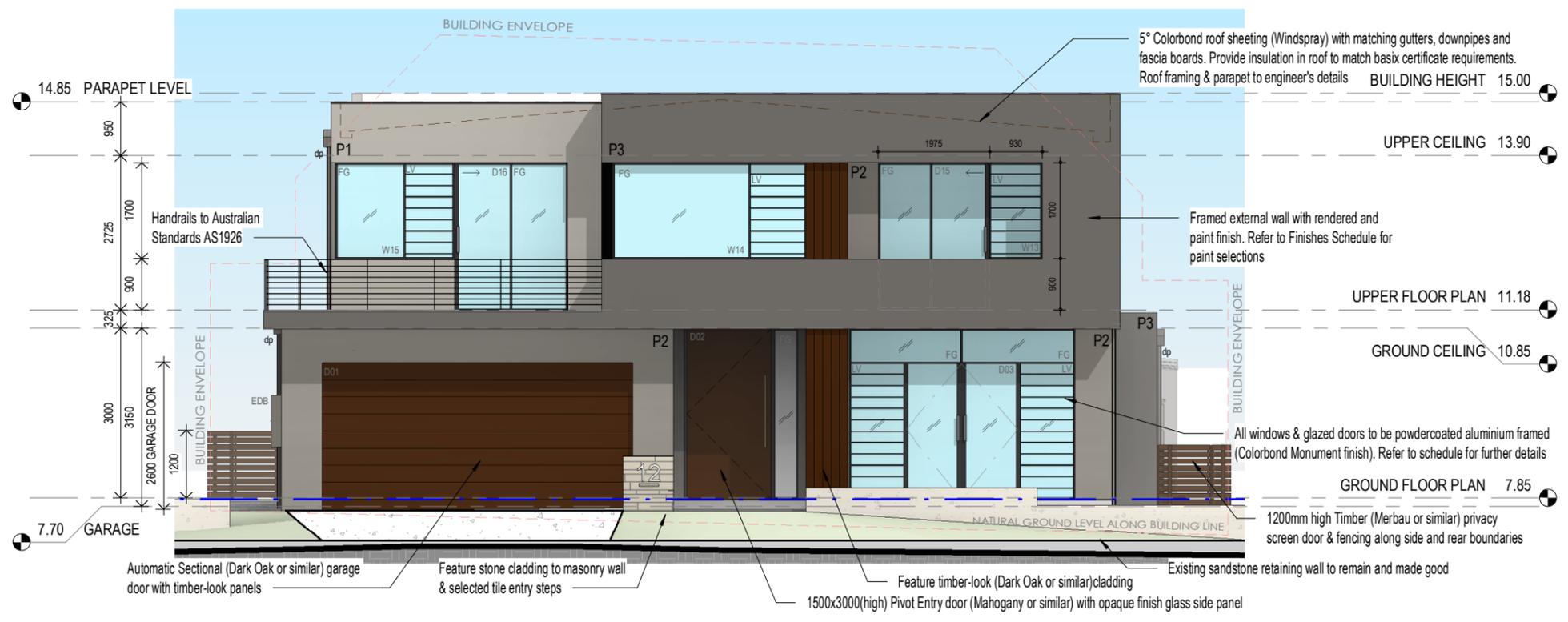
JOB NO: 20-106  
DWG NO: 05  
ISSUE: 3

since.2007 **d-syre design**

DRAWN: Bernard Siva | SCALE: As indicated | 2/8/2021 1:21:31 PM



**1 NORTH Elevation**  
 1 : 100



**2 EAST Elevation - MIRRABAY Road Frontage**  
 1 : 100

**FINISHES SCHEDULE.**

	<b>P1</b> DULUX WINTER FOG SN4A6		<b>DRIVEWAY SURFACES</b> 14mm BLACK PEBBLE WASH EXPOSED AGGREGATE
	<b>P2</b> DULUX CHAMPIGNON SN14A4		<b>EXTERNAL TILE FLOORING</b> GREY TERRAZZO NON-SLIP TILE/PAVER
	<b>P3</b> DULUX HAMMER GREY SG6H6		<b>ENTRY DOOR</b> MAHOGANY OR SIMILAR
	<b>ALUMINIUM FRAMES</b> COLORBOND MONUMENT		<b>GARAGE DOOR &amp; FEATURE</b> DARK OAK
	<b>ROOF SHEETING</b> COLORBOND WINDSPRAY		<b>TIMBER FENCING</b> MERBAU

**LAKE MACQUARIE CITY COUNCIL**  
 Approved plans for  
 Development Consent No: DA/2180/2020  
 Date of Approval: 23/02/2021  
**NOT FOR CONSTRUCTION**

**JOHNSON PROPERTY GROUP**  
 DESIGN REVIEW PANEL  
 Approved Date 11.12.20  
 APPROVED IN CONJUNCTION WITH DRP APPROVAL SCHEDULE

**5.4**  
 NATIONWIDE HOUSE ENERGY RATING SCHEME  
 79.6 MJ/m<sup>2</sup>  
 www.nathers.gov.au

0005462718 04 Dec 2020  
 Assessor Gavin Chambers  
 Accreditation No. DMN13/1491  
 Address 12 Mirrabay Drive, Morisset Park, NSW, 2264  
 hstar.com.au

**DEVELOPMENT APPLICATION**

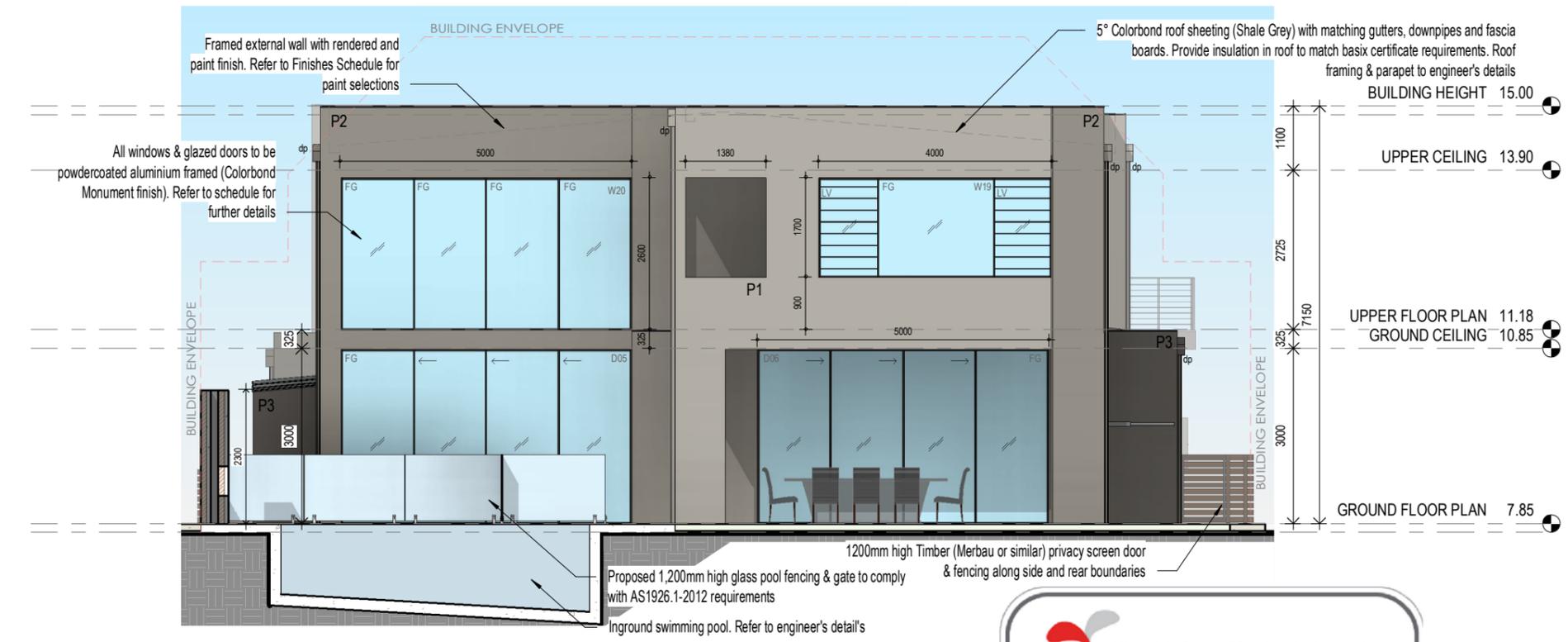
PROJECT: NEW DOUBLE STOREY DWELLING  
 ADDRESS: LOT 1602 DP 1224483  
 12, MIRRABAY DRIVE, MORISSET PARK, NSW  
 TITLE: NORTH & EAST ELEVATION  
 DOOR & WINDOW SCHEDULE  
 CLIENT: MAJEED

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JOB NO: 20-106  
 DWG NO: 06  
 ISSUE: 3  
 DRAWN: Bernard Siva SCALE: As indicated 2/8/2021 1:21:38 PM



**1 SOUTH Elevation**  
 1 : 100



**2 WEST Elevation**  
 1 : 100

**FINISHES SCHEDULE.**

	<b>P1</b> DULUX WINTER FOG SN4A6		<b>DRIVEWAY SURFACES</b> 14mm BLACK PEBBLE WASH EXPOSED AGGREGATE
	<b>P2</b> DULUX CHAMPIGNON SN14A4		<b>EXTERNAL TILE FLOORING</b> GREY TERAZZO NON-SLIP TILE/PAVER
	<b>P3</b> DULUX HAMMER GREY SG6H6		<b>ENTRY DOOR</b> MAHOGANY OR SIMILAR
	<b>ALUMINIUM FRAMES</b> COLORBOND MONUMENT		<b>GARAGE DOOR &amp; FEATURE</b> DARK OAK
	<b>ROOF SHEETING</b> COLORBOND WINDSPRAY		<b>TIMBER FENCING</b> MERBAU

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**5.4**  
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0005462718 04 Dec 2020  
 Assessor Gavin Chambers  
 Accreditation No. DMN13/1491  
 Address 12 Mirrabay Drive, Morisset Park, NSW, 2264  
 hstar.com.au

**DEVELOPMENT APPLICATION**

PROJECT: NEW DOUBLE STOREY DWELLING  
 ADDRESS: LOT 1602 DP 1224483  
 12, MIRRABAY DRIVE, MORISSET PARK, NSW  
 TITLE: SOUTH & WEST ELEVATION  
 CLIENT: MAJEED  
 JOB NO: 20-106  
 DWG NO: 07  
 ISSUE: 3  
 DRAWN: Bernard Siva SCALE: As indicated 2/8/2021 1:21:48 PM

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 www.d-syre.design +61 4 31 511 888

Single Dwelling

Certificate number: 1160911S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary  
Date of issue: Friday, 04 December 2020  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	16532	
Street address	12 Mirrabay Drive Morisset Park 2264	
Local Government Area	Lake Macquarie City Council	
Plan type and plan number	deposited 1224483	
Lot no.	1602	
Section no.	-	
Project type	separate dwelling house	
No. of bedrooms	5	
Project score		
Water	41	Target 40
Thermal Comfort	Pass	Target Pass
Energy	51	Target 50

Certificate Prepared by	
	(ABN: 27 131 950 064)
Ph: 02 4962 3439	Email: enquiries@buildingustainability.net.au
Revision of Certificates not lodged within 3 months of the date of issue will incur further BASIX issuing fees.	

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The swimming pool must be outdoors.	✓	✓	

**LAKE MACQUARIE CITY COUNCIL**

Approved plans for  
Development Consent No: DA/2180/2020  
Date of Approval: 23/02/2021

**NOT FOR CONSTRUCTION**

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Swimming pool</b>			
The applicant must install the following heating system for the swimming pool in the development (or alternatively must not install any heating system for the swimming pool); solar only		✓	
The applicant must install a timer for the swimming pool pump in the development.		✓	
<b>Alternative energy</b>			
The applicant must install a photovoltaic system with the capacity to generate at least 2.3 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.	✓	✓	✓
<b>Other</b>			
The applicant must install an induction cooktop & electric oven in the kitchen of the dwelling.		✓	
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

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Description of project

Project address	
Project name	16532
Street address	12 Mirrabay Drive Morisset Park 2264
Local Government Area	Lake Macquarie City Council
Plan type and plan number	deposited Plan 1224483
Lot no.	1602
Section no.	-
Project type	
Project type	separate dwelling house
No. of bedrooms	5
Site details	
Site area (m <sup>2</sup> )	678
Roof area (m <sup>2</sup> )	340
Conditioned floor area (m2)	439.0
Unconditioned floor area (m2)	11.0
Total area of garden and lawn (m2)	170

Assessor details and thermal loads		
Assessor number	DMN/13/1491	
Certificate number	0005462718	
Climate zone	15	
Area adjusted cooling load (MJ/m <sup>2</sup> year)	28	
Area adjusted heating load (MJ/m <sup>2</sup> year)	52	
Ceiling fan in at least one bedroom	No	
Ceiling fan in at least one living room or other conditioned area	No	
Project score		
Water	41	Target 40
Thermal Comfort	Pass	Target Pass
Energy	51	Target 50

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Simulation Method</b>			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓	✓	✓
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓

Floor and wall construction	Area
floor - concrete slab on ground	206.0 square metres
floor - suspended floor/open subfloor	42.0 square metres
floor - suspended floor above garage	All or part of floor area

Assessor Certificate



Assessed and issued in accordance with the BASIX Thermal Comfort Protocol for the Simulation Method

Date: 4 December 2020 BSA File ref: 16532

Assessor: Gavin Chambers Company: Building Sustainability Assessments Assessor #: DMN/13/1491

Address: 7 William Street, HAMILTON NSW 2303

Phone: (02) 4962 3439 Email: enquiries@buildingustainability.net.au

Declaration of interest in the project design: None

Project: 12 Mirrabay Drive MORISSET PARK NSW 2264

Software: BERS Pro 4.4 BERS File Run Ref: 16532 - R\_5

Documentation: All details, upon which this assessment has been based, are included in the project documentation that has been stamped and signed by the Assessor issuing this certificate, as identified below.

Drawings used for this assessment: (Title, Ref #, Revision, Issue date, etc) d-syre design Job No. 20-106 12/03/2020

Thermal Performance Specification (copy below) is attached to the drawings and is on page: 02

BSA Reference: 16532 Ph: (02) 4962 3439 enquiries@buildingustainability.net.au www.basix.nsw.gov.au

Assessor Number: DMN/13/1491 Certificate Number: 0005462718

Climate Zone: 15 Ceiling Fans: Living No - Beds No

External Wall Construction: Added insulation R2.7

Internal Wall Construction: Added insulation R2.7 to walls adjacent to garage.

Ceiling Construction: Added insulation R2.4 to ceiling adjacent to roof space

Floor Construction: Added insulation R2.0 to floors adjacent to garage and where open below

Windows: Glass and frame type U Value SHGC Range Area sq m Performance glazing Type A 3.60 0.21-0.29 All other windows Performance glazing Type B 4.50 0.55-0.67 All louvers Performance glazing Type C 3.60 0.27-0.33 All other windows

External Window Shading: (leaves, verandahs, pergolas, awnings etc) All shade elements modelled as drawn

Ceiling Penetrations: (downlights, exhaust fans, fans etc) No adjustment has been made for losses to insulation arising from ceiling penetrations.

Heating: 52 (MJ/m<sup>2</sup>/annum) Cooling: 28 (MJ/m<sup>2</sup>/annum) Total: 80 (MJ/m<sup>2</sup>/annum) Stars: 5.4 (NAHERS)

Stamp here



7 William Street HAMILTON NSW 2303 P 02 4962 3439 E enquiries@buildingustainability.net.au W www.basix.nsw.gov.au

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

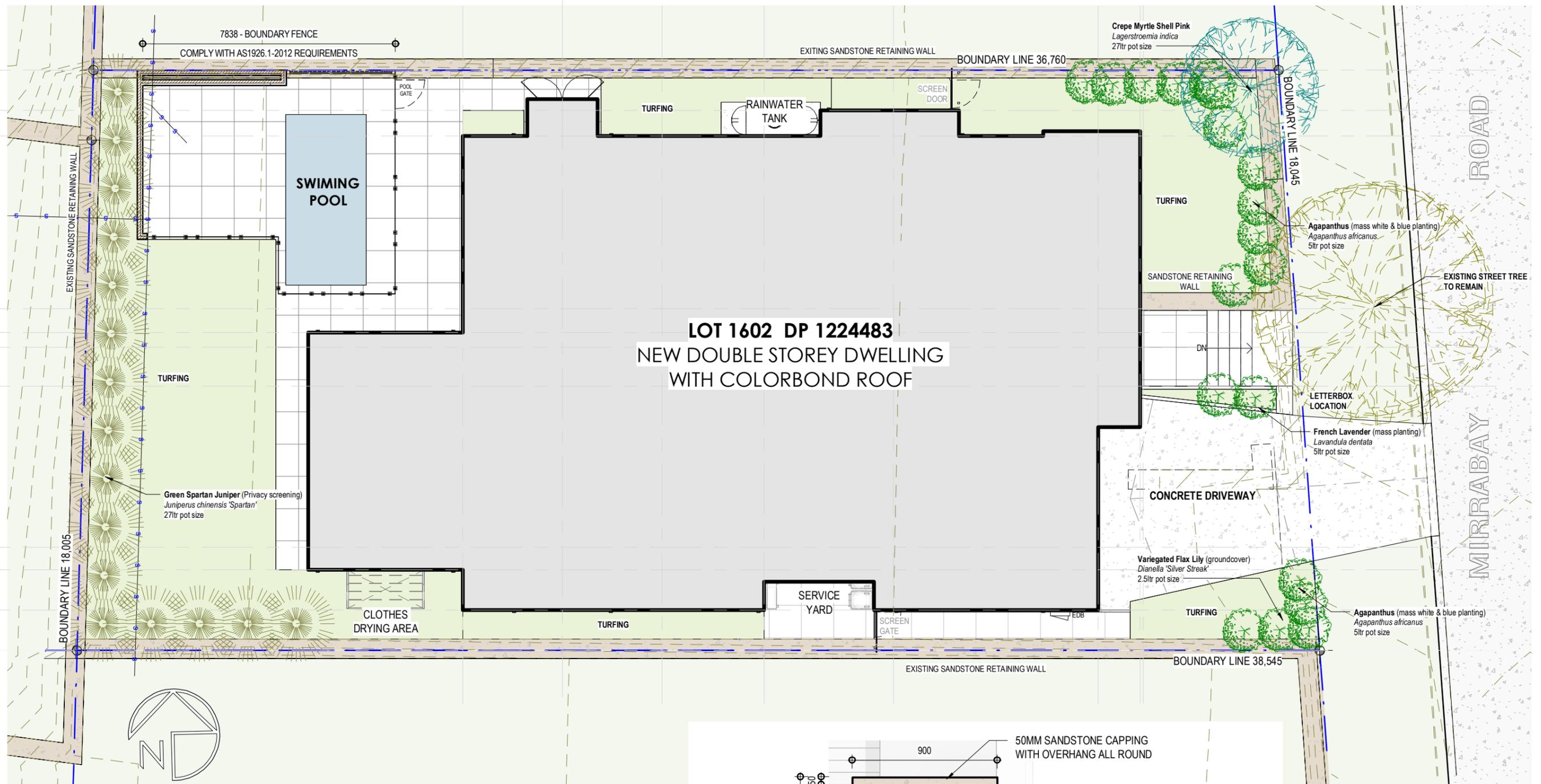
Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Fixtures</b>			
The applicant must install showerheads with a minimum rating of 3 star (> 7.5 but <= 9 L/min) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 3 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.		✓	✓
The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.		✓	✓
<b>Alternative water</b>			
<b>Rainwater tank</b>			
The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 100 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to: <ul style="list-style-type: none"> <li>all toilets in the development</li> <li>the cold water tap that supplies each clothes washer in the development</li> <li>at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)</li> </ul>		✓	✓
<b>Swimming pool</b>			
The swimming pool must not have a volume greater than 18 kilolitres.	✓	✓	
The swimming pool must have a pool cover.		✓	

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Hot water</b>			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: solar (gas boosted, flat plate) with a performance of 21 to 25 STCs or better.	✓	✓	✓
<b>Cooling system</b>			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: ceiling fans + 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
The cooling system must provide for day/night zoning between living areas and bedrooms.		✓	✓
<b>Heating system</b>			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
The heating system must provide for day/night zoning between living areas and bedrooms.		✓	✓
<b>Ventilation</b>			
The applicant must install the following exhaust systems in the development: <ul style="list-style-type: none"> <li>At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off</li> <li>Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off</li> <li>Laundry: natural ventilation only, or no laundry; Operation control: n/a</li> </ul>		✓	✓
<b>Natural lighting</b>			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
The applicant must install a window and/or skylight in 5 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓



DEVELOPMENT APPLICATION

PROJECT:	NEW DOUBLE STOREY DWELLING
ADDRESS:	LOT 1602 DP 1224483 12, MIRRABAY DRIVE, MORISSET PARK, NSW
TITLE:	BASIX & ASSESSOR CERTIFICATE
CLIENT:	MAJEED
JOB NO:	20-106
DWG NO:	10
ISSUE:	3
DRAWN:	Bernard Siva
SCALE:	2/8/2021 1:21:57 PM



**LOT 1602 DP 1224483**  
 NEW DOUBLE STOREY DWELLING  
 WITH COLORBOND ROOF

**1 LANDSCAPE PLAN**  
 1 : 125

**JOHNSON PROPERTY GROUP**  
 DESIGN REVIEW PANEL

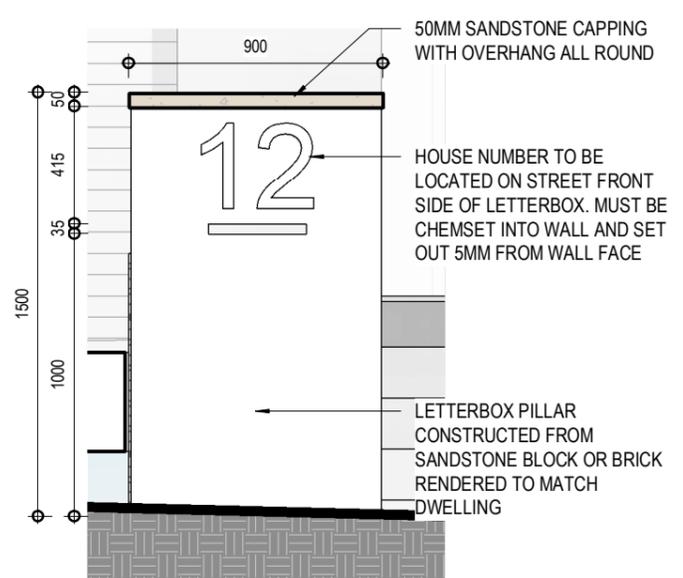
Approved Date 11.12.20

APPROVED IN CONJUNCTION WITH DRP APPROVAL SCHEDULE

**LAKE MACQUARIE CITY COUNCIL**

Approved plans for  
 Development Consent No: DA/2180/2020  
 Date of Approval: 23/02/2021

**NOT FOR CONSTRUCTION**



**2 LETTERBOX DETAIL**  
 1 : 25

**DEVELOPMENT APPLICATION**

PROJECT: NEW DOUBLE STOREY DWELLING  
 ADDRESS: LOT 1602 DP 1224483  
 12, MIRRABAY DRIVE, MORISSET PARK, NSW  
 TITLE: LANDSCAPE PLAN  
 CLIENT: MAJEED

**d-syre design**  
 since 2007

JOB NO: 20-106  
 DWG NO: 11  
 ISSUE: 3

www.d-syre.design +614 31 511 888  
 DRAWN: Bernard Siva SCALE: As indicated 2/8/2021 1:22:00 PM